

August 7, 2014

K13036

Boone County Animal Services and Adoption Center
1230 S Appleton Rd
Belvidere, IL 61008

received
8/15/14



Preliminary Design Report

New Facilities for Boone County Animal Services & Adoption Center

- 1- Title Page**
- 2- Project Directory**
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- 6- Preliminary Design Drawings**

August 7, 2014

K13035

Boone County Animal Services & Adoption Center
1023 S Appleton Rd
Belvidere, IL 61008



Project Narrative

Request for Qualifications

In December 2013, Boone County Animal Services requested qualifications from architects interested in the design of a new animal services facility. On February 6, 2014, Mark Schmidt met with the Boone County Health and Human Services Committee. The committee approved initiation of a feasibility analysis to determine the size and cost of a new facility.

Project Description

The Boone County Animal Services and Adoption Center is located in a building on Appleton Road in Belvidere, that was originally constructed as an animal hospital. Mark Schmidt visited the facility with county staff February 20th. Staff described difficulties with the existing location, including a narrow driveway and intermittent highway traffic congestion. During the last ten years, Boone County has pursued several proposals for replacement, repair, and renovation of the existing facility.. A previous study has documented the existing building deficiencies. It is in need of extensive maintenance. A new effort is being made to provide a new building for Boone County Animal Services including the option of relocation.

Space Needs

The December RFQ included an August 2013 list of building needs. This list included a lack of meeting rooms, cat rooms, and a garage. These needs were reviewed at the February 20th meeting with Mark Schmidt and county staff. Concern was expressed that construction funds are limited. Rather than promoting the ideal facility, the proposed construction could be planned with phases, with a modest shelter to be constructed soon, to address the immediate needs. Planning should include the option for potential expansion if and when funds become available.

One major issue is whether space for cats would be included in a new building. The existing shelter does not house cats. The county does not regulate cat ownership. The control of unwanted and stray cats is an unresolved issue in Boone County. Since there is no current county regulation of cats, there is no revenue source that directly contributes to the cost of cat control. A consensus at the meeting was that any proposal for a new building should be flexible in order to respond to uncertain future decisions regarding cat housing and regulation.

Feasibility Analysis Summary

Several Space Needs Analysis charts were included in the Feasibility Report that showed that the existing Boone County Animal Services could be provided in a building with about 2,600 sf. Desired space for additional services could require a building with up to about 7,000 sf. The minimum building is most likely to cost at least \$500,00.

In May 2014, Boone County authorized Knapp Schmidt Architects to proceed with a preliminary design of a 3,000 sf building that was to include space for cats and a 'Sally Port'. Design work was to plan integration of potential expansion up to the estimated total desired space of about 7,000 sf.

Preliminary Design

During May, June, and July of 2014, several meetings were conducted with county staff. Proposals were solicited from local civil engineering firms to analyze the development costs of the Highway 76 site. CES of Belvidere was selected to assist in the planning of the new facility.

Several meetings were conducted with the Boone County Human Services Committee and the Boone County Finance Committee to discuss the progress of the building and site design. Discussion indicated that since county funds are limited for the facility, only the most cost effective building and site design options would have a likelihood of gaining approval.

Site Design

CES and county staff have reviewed conditions at the Highway 76 site. It has been determined that the existing well is probably adequate to supply the water service for the new building. An existing septic system drainfield that was abandoned when the Maple Crest Home was connected to the City of Belvidere sanitary system could be activated for the new use. New septic tanks can be provided for both the animal occupied and people occupied portions of the building. (Separation of animal waste can remove pet hair so that the drainfield will have a longer life.)

Without a municipal water supply, the cost of an automatic fire suppression system (sprinklers) will have a substantial cost. Construction costs for a sprinkler

system can be determined, but without any building code requirement for such a system, this expense can be delayed to some indeterminate date, while still constructing the basic facility.

Building Design

The Preliminary Design Report includes a building design concept with 2,725 sf of finished floor space. The building design concept includes the following features;

- 1- A public use Lobby with reception desk. A Consultation Room and a Cat Adoption Room are accessed from the Lobby. A single toilet room is provided for both public and staff use.
- 2- An Adoption Kennel is easily accessed from the Lobby.
- 3- Staff administrative rooms are shown behind the main reception desk.
- 4- A Staff Workroom provides space for animal examination, bathing, food preparation, and laundry.
- 5- A separate kennel is provided to house dogs that are not available for public viewing.
- 6- A separate cat room is provided to house cats that are not available for public viewing.
- 7- The minimum plan of 2,700 sf does not provide a designated space for euthanasia, however, the shelter cat room is situated so that it has the possibility of being used for that purpose.
- 8- A carport provides the 'Sally Port'.
- 9- A mechanical services room is located on the upper level to house HVAC units, and water heater. Ladder access is provided from the carport to the mechanical room.
- 10- Both the Adoption Kennels, and the Shelter Kennels have both interior and exterior kennel spaces. Extended roofs provide some cover for exterior spaces. A privacy fence is shown to screen the exterior kennels from the parking lot.

but not included in the total project cost, and could be an option for the future.

- 3- A Project Summary is prepared to show the likely total expenses to develop the animal care facility including a budget for county furnished communications systems and furniture.

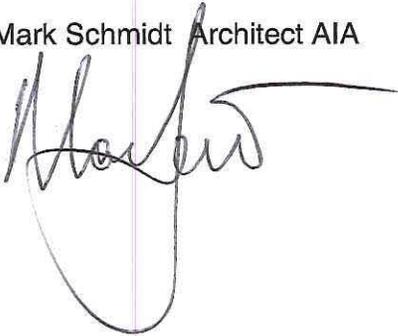
Summary

The 2014 design work is intended to produce plans for a facility that are cost effective in both size and function. The Highway 76 building site has the advantage of providing an animal care facility that is more visible to the county residents than the existing facility on Appleton Road. Higher visibility is assumed to generate increased usage of the facility that can include additional donations of supplies, potential volunteer labor, and increased adoption fees. The Highway 76 location has the additional advantage of open site area that would allow future expansion of the facility.

It has been an honor to have the opportunity to work with Boone County staff and residents. I look forward to future efforts to complete the planning for care of Boone County resident's animal companions.

Respectfully,

Mark Schmidt Architect AIA

A handwritten signature in black ink, appearing to read 'Mark Schmidt', with a large, sweeping flourish extending to the right.

August 7, 2014

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Boone County Animal Services and Adoption Center
1230 S Appleton Rd
Belvidere, IL 61008



Space Needs Analysis

Phase 1: Replace Existing Shelter

Shelter Area						
Zone	Room	Count	Width	Depth	Area	
Public Zone						
	Vestibule	0	8 ft	10 ft	0 sf	
	Lobby	4	4 ft	5 ft	80 sf	(4) clients seating
	Receptionist	2	6 ft	8 ft	96 sf	(1) staff display
	Retail	2	8 ft	8 ft	128 sf	
	Cat Visitation Room	0	9 ft	12 ft	0 sf	
	Dog Visitation Room	1	9 ft	12 ft	108 sf	
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Public Toilet	1	9 ft	7 ft	63 sf	
	Public Zone Net				490 sf	
	Building Envelope & Circulation Space @ 15%				74	
	Public Zone Gross Area				564 sf	20% of shelter
Administrative & Staff Zone						
	File Storage	0	1 ft	8 ft	0 sf	in reception area
	Admin Area	0	8 ft	8 ft	0 sf	in reception area
	Admin Storage	0	8 ft	8 ft	0 sf	in reception area
	Data Room	0	4 ft	6 ft	0 sf	
	Operations Managers Office	1	10 ft	10 ft	100 sf	(1) desk
	Program Coordinator Office	1	10 ft	10 ft	100 sf	(1) desk
	Animal Control Office	1	10 ft	10 ft	100 sf	(1) desk
	Staff Break Room	1	8 ft	12 ft	96 sf	
	Conference Room	0	12 ft	20 ft	0 sf	
	Staff Lockers	0	1 ft	6 ft	0 sf	
	Staff Toilet	0	7 ft	12 ft	0 sf	
	Administrative Zone Net				396 sf	
	Building Envelope & Circulation Space @ 15%				59	
	Administrative Zone Gross Area				455 sf	16% of shelter
Work Zone						
	Exam Consultation Room	0	9 ft	12 ft	0 sf	
	Workroom	1	15 ft	22 ft	330 sf	(1) work station
	Euthanasia	0	12 ft	12 ft	0 sf	4 cages
	Bathing & Grooming	1	6 ft	8 ft	48 sf	(2) tubs
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Food Prep	1	8 ft	10 ft	80 sf	
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Drop-Off Spaces	0	6 ft	6 ft	0 sf	2 runs
	Treatment Zone Net				488 sf	2 animals
	Building Envelope & Circulation Space @ 15%				73	
	Work Zone Gross Area				561 sf	19% of shelter
Animal Housing						
Cat Care Zone						
	Adoption Kittens	1	8 ft	8 ft	64 sf	2 cages
	Adoption Cats	1	8 ft	8 ft	64 sf	6 cages
	Shelter Cats	1	8 ft	8 ft	64 sf	6 cages
	Cat Isolation	1	8 ft	8 ft	64 sf	6 cages
	Other Species	0	8 ft	8 ft	0 sf	0 cages
	Housing Animal Zone Net				256 sf	20 animals
	Building Envelope & Circulation Space @ 15%				38	
	Animal Housing Zone Gross Area				294 sf	10% of shelter
Animal Housing						
Dog Care Zone						
	Adoption Dogs	8	4 ft	8 ft	256 sf	8 runs
	Shelter Dogs	6	4 ft	8 ft	192 sf	6 runs
	Puppies	0	6 ft	8 ft	0 sf	0 puppies
	Dog Isolation	2	4 ft	8 ft	64 sf	2 runs
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Housing Animal Zone Net				527 sf	16 animals
	Building Envelope & Circulation Space @ 15%				79	
	Animal Housing Zone Gross Area				606 sf	21% of shelter
Activity Exercise Zone						
	Janitor Closet	0	3 ft	5 ft	0 sf	
	Training Room	0	30 ft	30 ft	0 sf	
	Hospital Animal Zone Net				0 sf	0 animals
	Building Envelope & Circulation Space @ 15%				0	
	Exercise Zone Gross Area				0 sf	0% of shelter
Utility Zone						
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Laundry	1	8 ft	8 ft	64 sf	
	Food Prep	1	8 ft	8 ft	64 sf	
	Bulk Product & Food Storage	1	8 ft	8 ft	64 sf	
	Vestibule	1	8 ft	10 ft	80 sf	freezer
	Sally Port	0	12 ft	24 ft	0 sf	
	Garage	0	10 ft	24 ft	0 sf	
	Mechanical Rooms	1	8 ft	8 ft	64 sf	
	Utility Zone Net				351 sf	
	Building Envelope & Circulation Space @ 15%				53	
	Utility Zone Gross Area				404 sf	14% of shelter
Shelter Total Area:					2,884 sf	100% of shelter

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Space Needs Analysis

Phase 2: Expanded Shelter

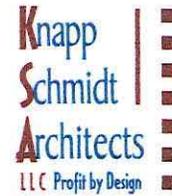
Shelter Area						
Zone	Room	Count	Width	Depth	Area	
Public Zone	Vestibule	1	8 ft	10 ft	80 sf	
	Lobby	8	4 ft	5 ft	160 sf	(8) clients seating
	Receptionist	2	6 ft	8 ft	96 sf	(1) staff display
	Retail	2	8 ft	8 ft	128 sf	
	Cat Visitation Room	1	9 ft	12 ft	108 sf	
	Dog Visitation Room	1	9 ft	12 ft	108 sf	
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Public Toilet	1	9 ft	7 ft	63 sf	
	Public Zone Net				758 sf	
	Building Envelope & Circulation Space @ 15%				114	
		Public Zone Gross Area			872 sf	17% of shelter
Administrative & Staff Zone	File Storage	0	1 ft	8 ft	0 sf	in reception area
	Admin Area	0	8 ft	8 ft	0 sf	in reception area
	Admin Storage	0	8 ft	8 ft	0 sf	in reception area
	Data Room	0	4 ft	6 ft	0 sf	
	Operations Managers Office	1	10 ft	10 ft	100 sf	(1) desk
	Program Coordinator Office	1	10 ft	10 ft	100 sf	(1) desk
	Animal Control Office	2	10 ft	10 ft	200 sf	(4) desk
	Staff Break Room	1	8 ft	12 ft	96 sf	
	Conference Room	1	12 ft	20 ft	240 sf	
	Staff Lockers	8	1 ft	6 ft	60 sf	
	Staff Toilet	1	7 ft	12 ft	84 sf	
	Administrative Zone Net				880 sf	
	Building Envelope & Circulation Space @ 15%				132	
	Administrative Zone Gross Area			1,012 sf	20% of shelter	
Work Zone	Exam Consultation Room	1	9 ft	12 ft	108 sf	
	Workroom	1	15 ft	22 ft	330 sf	(1) work station
	Euthanasia	1	12 ft	12 ft	144 sf	(1) work station
	Bathing & Grooming	1	6 ft	8 ft	48 sf	(2) tubs
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Food Prep	1	8 ft	10 ft	80 sf	
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Drop-Off Spaces	2	6 ft	6 ft	72 sf	2 runs
	Work Zone Net				812 sf	2 animals
	Building Envelope & Circulation Space @ 15%				122	
		Work Zone Gross Area			934 sf	18% of shelter
Animal Housing Cat Care Zone	Adoption Kittens	1	8 ft	8 ft	64 sf	2 cages
	Adoption Cats	2	8 ft	8 ft	128 sf	6 cages
	Shelter Cats	2	8 ft	8 ft	128 sf	6 cages
	Adoption Cats	2	8 ft	6 ft	128 sf	6 cages
	Shelter Cats	2	8 ft	8 ft	128 sf	0 cages
	Housing Animal Zone Net				576 sf	20 animals
	Building Envelope & Circulation Space @ 15%			86		
	Animal Housing Zone Gross Area			662 sf	13% of shelter	
Animal Housing Dog Care Zone	Adoption Dogs	10	4 ft	8 ft	320 sf	10 runs
	Shelter Dogs	8	4 ft	8 ft	256 sf	10 runs
	Puppies	1	6 ft	8 ft	48 sf	8 puppies
	Dog Isolation	2	4 ft	8 ft	64 sf	2 runs
	Janitor Closet	1	3 ft	5 ft	15 sf	
	Housing Animal Zone Net				703 sf	30 animals
		Building Envelope & Circulation Space @ 15%			105	
		Animal Housing Zone Gross Area			808 sf	16% of shelter
Activity Exercise Zone	Janitor Closet	0	3 ft	5 ft	0 sf	
	Training Room	0	30 ft	30 ft	0 sf	
	Activity Zone Net				0 sf	0 animals
	Building Envelope & Circulation Space @ 15%				0	
	Exercise Zone Gross Area			0 sf	0% of shelter	
Utility Zone	Janitor Closet	1	3 ft	5 ft	15 sf	
	Laundry	1	8 ft	8 ft	64 sf	
	Food Prep	1	8 ft	8 ft	64 sf	
	Bulk Product & Food Storage	2	8 ft	8 ft	128 sf	
	Vestibule	1	8 ft	10 ft	80 sf	freezer
	Sally Port	1	12 ft	24 ft	288 sf	
	Garage	0	10 ft	24 ft	0 sf	
	Mechanical Rooms	1	8 ft	8 ft	64 sf	
	Utility Zone Net				703 sf	
	Building Envelope & Circulation Space @ 15%			105		
	Utility Zone Gross Area			808 sf	16% of shelter	
Shelter Total Area:					5,097 sf	100% of shelter

7/31/14

K13036

Boone County Animal Services and Adoption Center

Belvidere, IL



SCOPE OF PROJECT: Construct new facility for Boone County Animal Services and Adoption Center

Design Consultant Fee Budget

Based on 7/31/14 Preliminary Design Plan of ; 2,700 sf

Architect	Knapp Schmidt Architects, Wautoma, WI	\$51,000
Civil Engineer and Surveying	CES, Belvidere, IL	\$10,000
Landscape Architect	to be determined	\$1,000
Structural Engineer	to be determined	\$1,000
HVAC Engineer	to be determined	\$3,000
Plumbing Engineer	to be determined	\$3,000
Electrical Engineer	to be determined	\$3,000
Fire Protection Design	future	\$0
Geotechnical Analysis	to be determined	\$1,000
Environmental Analysis	to be determined	\$0
Reimbursable Expenses	allowance	\$5,000
Total		\$78,000

7/31/14

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Boone County Animal Services and Adoption Center
Belvidere, Illinois 61008



SCOPE OF PROJECT: Construct new facility for Boone County Animal Services and Adoption Center

Location Cost Analysis

location area Rockford
Means Location Factor * 104

Schedule of Values Budget Summary Calculations

- 1- These costs are an attempt to establish values for the major construction cost items
- 2- Individual costs can be investigated to verify the validity of the total

Area Calculations

developed site area 88,000 sf 2 acres

		ANIMAL SERVICES		FIRE PROTECTION		TOTAL FUTURE FACILITY		
	cost/sf			cost/sf		cost/sf		
total floor area		2,700 sf				2,700 sf		
General Conditions & Managemen	\$15	2,700	\$40,500	0	\$0	2,700	\$40,500	6%
Site Development Domestic Water allowance			\$15,000					
Site Development Sanitary allowance			\$27,000					
Site Development General allowance			\$93,000					
Site Development Fire Protection allowance					\$47,000			
Total Site Development							\$182,000	29%
Building Shell	\$40	2,700	\$108,000	0	\$0	2,700	\$108,000	17%
Interior Build-out	\$40	2,700	\$108,000	0	\$0	2,700	\$108,000	17%
Equipment	\$13	2,700	\$35,000	0	\$0	2,700	\$35,000	6%
Plumbing	\$13	2,700	\$35,000	0	\$0	2,700	\$35,000	6%
Fire Protection	\$13	0	\$0	2,700	\$35,000	2,700	\$35,000	6%
HVAC	\$17	2,700	\$46,000	0	\$0	2,700	\$46,000	7%
Electrical	\$15	2,700	\$40,500	0	\$0	2,700	\$40,500	6%
Total Project Cost	\$166		\$548,000		\$82,000		\$630,000	100%
Total Cost /sf			\$203				\$233.33	

Disclaimer

* Nationwide average based on Means Estimating Guide for location factors and on Knapp Schmidt Architects historic data of construction costs for animal care facilities.

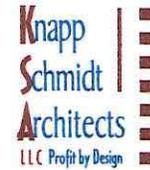
** These prices are not predictions of actual cost, but are a budget, intended only as a means to compare one option to another. Further investigation will be needed to prepare more accurate pricing information.

7/31/14

K13036

Boone County Animal Services and Adoption Center

Belvidere, IL



SCOPE OF PROJECT: Construct new facility for Boone County Animal Services and Adoption Center

Construction Project Budget Summary

Based on 7/31/14 Preliminary Design Plan of ; 2,700 sf

PLANNING

Design Consultants	budget		\$78,000
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CONSTRUCTION

Site Development	budget	\$135,000	
Building Construction	\$140/sf	\$378,000	
Kennel Equipment	allowance	\$35,000	
Total	w/o sprinkler system		\$548,000
Potential future automatic sprinkler system			
System Design	allowance	\$1,000	
Site Development	estimate	\$47,000	
Building Fire Suppression System	estimate	\$35,000	
Total Potential Additional	w/ sprinkler system	\$83,000	not included

OCCUPATION

IT/Furniture	allowance		\$87,000
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TOTAL PROJECT			\$713,000
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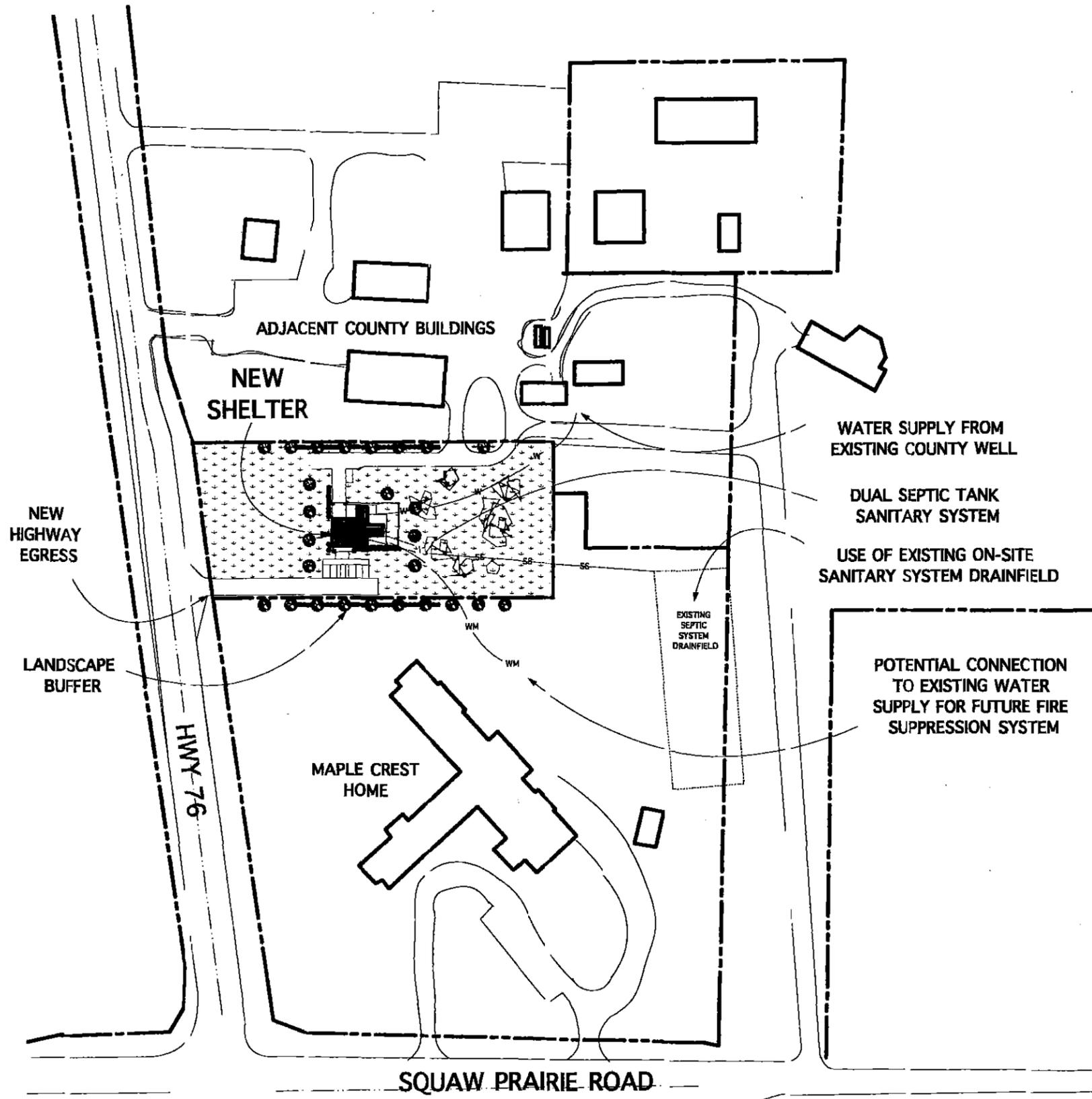
- 11-Basic building construction is proposed to be wood frame, with concrete block kennel rooms. Roof construction is to be wood trusses with integral second floor unfinished mechanical space.
- 12-Exterior finishes include a standing seam metal roof, with masonry veneer exterior walls.
- 13- The Preliminary Design Drawings include a floor plan that is colored to indicate several distinct areas or zones within the building. The intent is that each of these areas will be provided with a separate HVAC system to promote energy efficiency by operating each area only as needed. Each zone is to be separated with walls that limit sound transmission, thereby creating a building with public and staff work rooms with minimum noise levels.
- 14-Although not detailed, the Preliminary Design building concept still has the opportunity to minimize operating expenses with high insulation standards, and high efficiency mechanical and electrical systems. Orientation of the building and roof design retains the opportunity for future solar applications.

Construction Cost

Cost analysis of previous Knapp Schmidt Architect animal care facilities indicates that a construction budget of \$180/sf is reasonable. This cost includes typical site development, building construction, and major equipment. Because the site development is unique, the costs for building and site development are analyzed separately.

Three construction budget statements are included in the report;

- 1- A report is prepared to list the budget cost for the design professionals needed to complete the animal care facility planning.
- 2- A Schedule of Values is prepared to list the major categories of construction. Note that the expense of the sprinkler system is estimated,



SITE PLAN NOTES:

SCOPE OF WORK:

NEW ANIMAL SERVICES BUILDING

SITE AREA:

120,750 sq ft

2.25 ACRES

BUILDING AREA CALCULATIONS:

ANIMAL SERVICES

2,725 sq ft

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NEW BUILDING FOR:
**BOONE COUNTY ANIMAL
 SERVICES AND ADOPTION CENTER**
 BELVIDERE, ILLINOIS

SCALE	PRELIMINARY DESIGN
DATE	8/07/14
FB	K13036

GRAPHIC SCALE: 1" = 80'-0"

TRUE NORTH

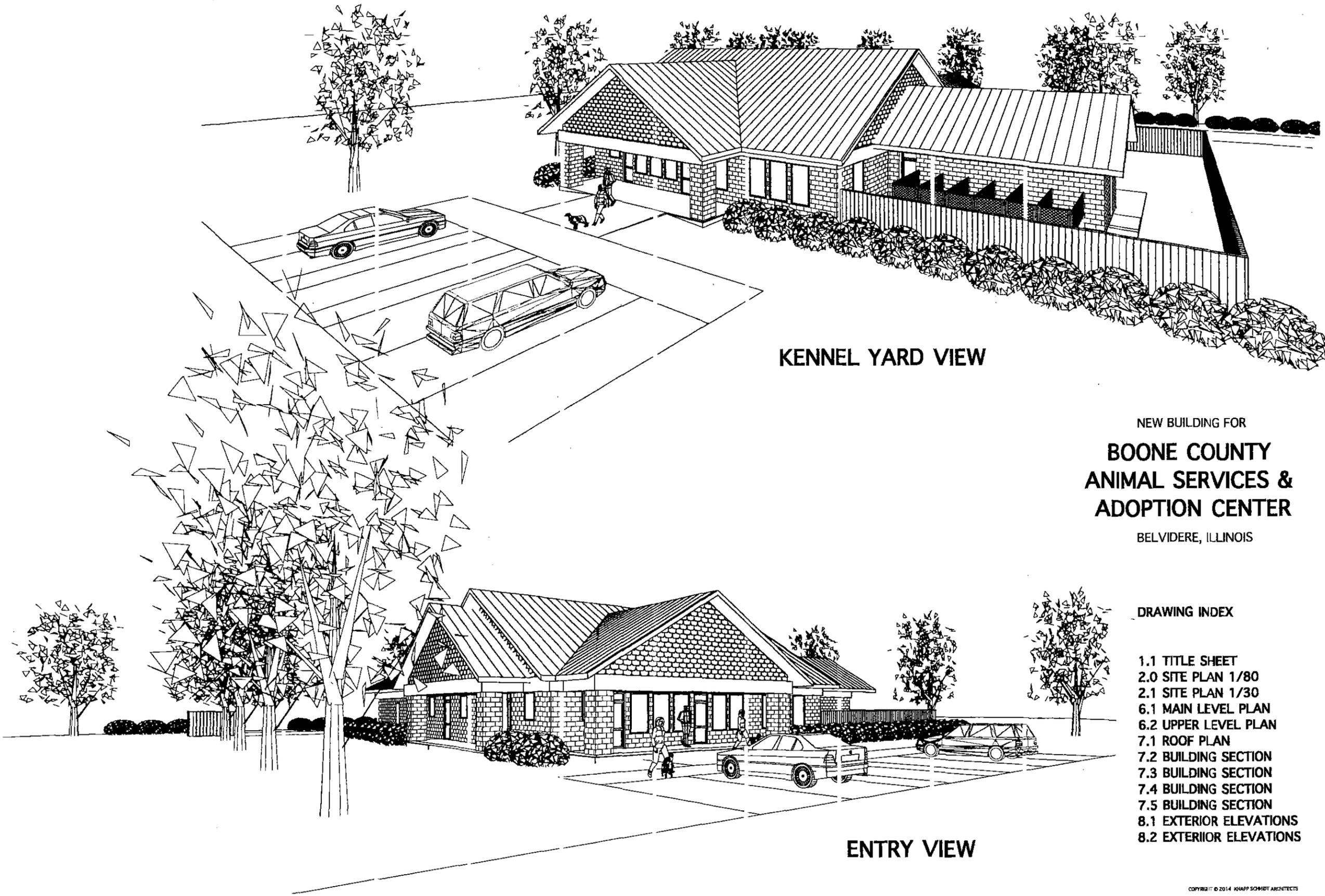
PROJECT NORTH

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SITE PLAN

SHEET No. **2.0**

8/15/14



KENNEL YARD VIEW

ENTRY VIEW

NEW BUILDING FOR
**BOONE COUNTY
 ANIMAL SERVICES &
 ADOPTION CENTER**

BELVIDERE, ILLINOIS

DRAWING INDEX

- 1.1 TITLE SHEET
- 2.0 SITE PLAN 1/80
- 2.1 SITE PLAN 1/30
- 6.1 MAIN LEVEL PLAN
- 6.2 UPPER LEVEL PLAN
- 7.1 ROOF PLAN
- 7.2 BUILDING SECTION
- 7.3 BUILDING SECTION
- 7.4 BUILDING SECTION
- 7.5 BUILDING SECTION
- 8.1 EXTERIOR ELEVATIONS
- 8.2 EXTERIOR ELEVATIONS

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 Madison, WI 53682
 800 - 236 - 0140
 920 - 787 - 0140
 design@schmidt.net

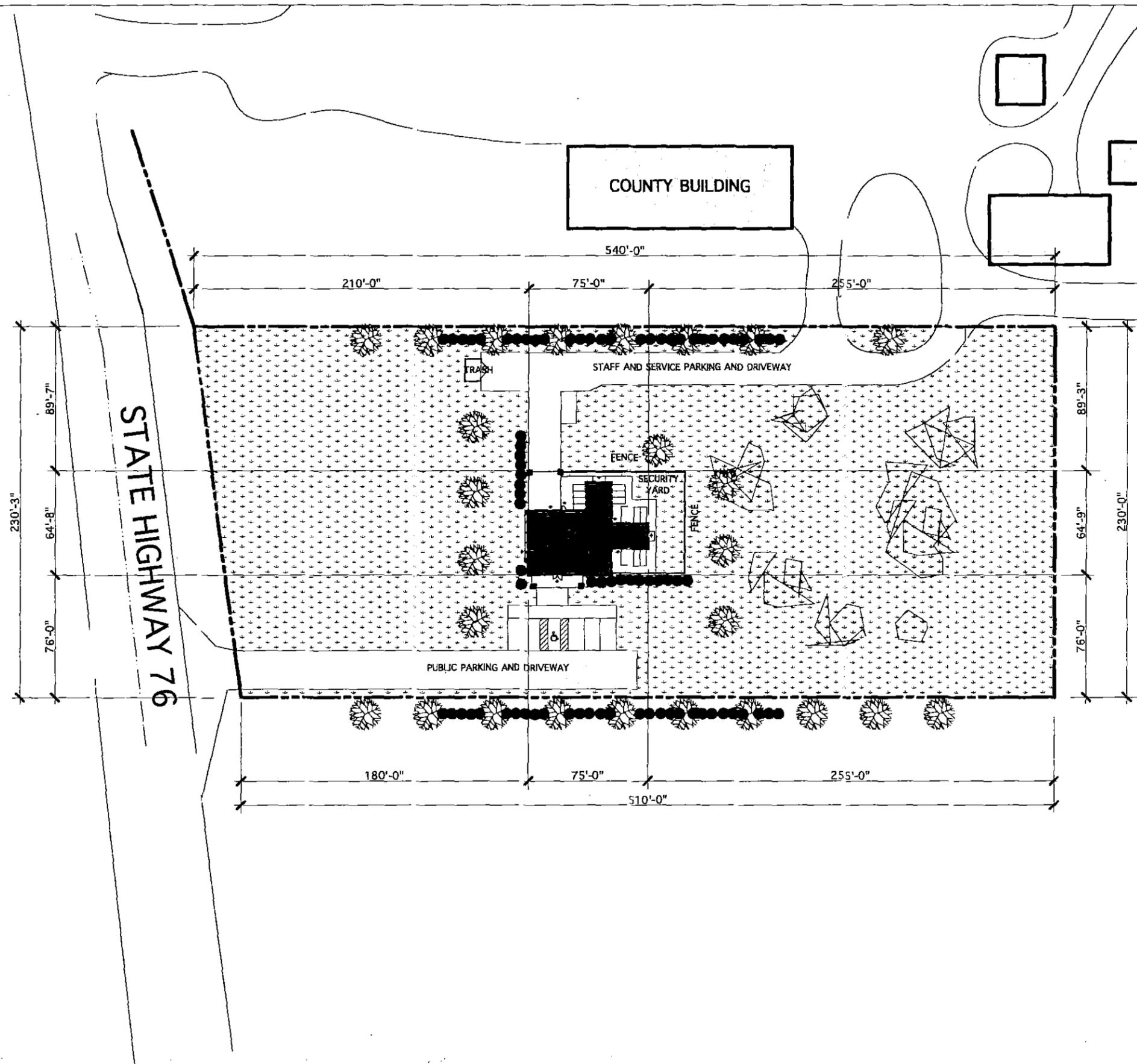
Mark J. Schmidt
 Architect AIA
 NCARB
 A Member of
 Knapp Schmidt
 Architects LLC

NEW BUILDING FOR
**BOONE COUNTY ANIMAL
 SERVICES AND ADOPTION CENTER**
 BELVIDERE, ILLINOIS

ISSUED:	PRELIMINARY DESIGN
DATE:	8/07/14
PROJECT NO.	
ISSUED BY:	
DWG. NO.	K13036

TITLE SHEET

SHEET No. **1.1**



SITE PLAN NOTES:

SCOPE OF WORK:

1- CONSTRUCT NEW ANIMAL SERVICES BUILDING.

SITE AREA:

120,750 sq ft
2.25 ACRES

BUILDING AREA CALCULATIONS:

TOTAL FACILITY
2,720 sq ft

PARKING CALCULATIONS

PUBLIC AND STAFF AREAS
1,688/250 = 7 SPACES

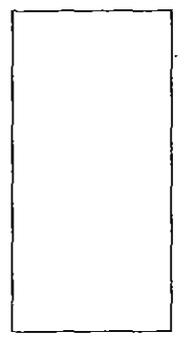
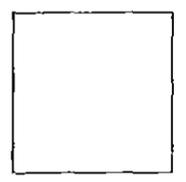
ANIMAL & STORAGE AREAS
1,037/500 = 2 SPACES

TOTAL (9) PARKING SPACES

ROBERTZ
Waukegan, WI 54982
800 - 236 - 0140
920 - 787 - 0140
design@rsarcht.net

Mark J. Schmidt
Architect

AIA



NEW BUILDING FOR:
BOONE COUNTY ANIMAL SERVICES AND ADOPTION CENTER
BELVIDERE, ILLINOIS

ISSUED:	PRELIMINARY DESIGN
DATE:	8/27/14
PROJECT NO.:	K13036

GRAPHIC SCALE: 1" = 30'-0"

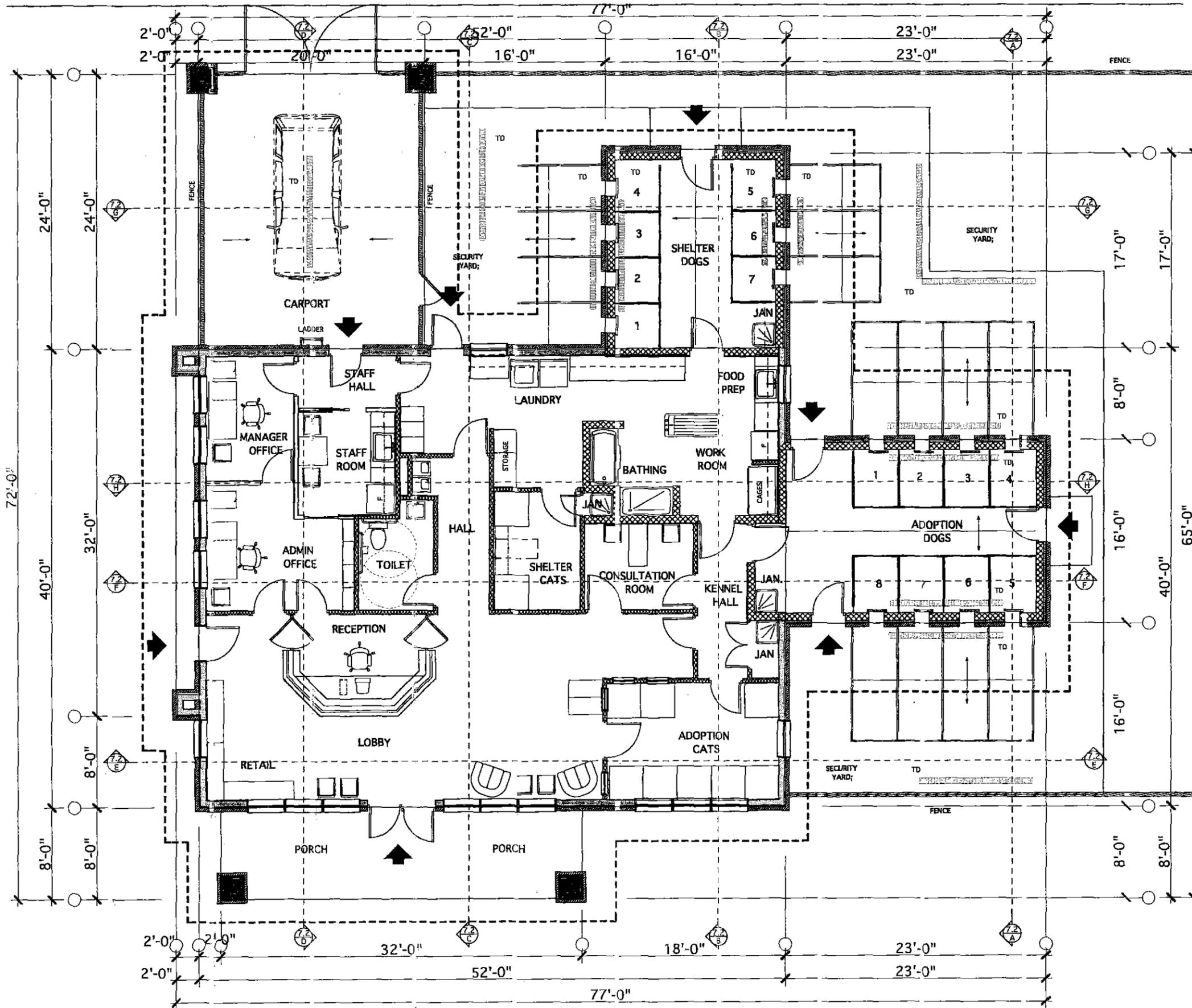
TRUE NORTH

PROJECT NORTH

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SITE PLAN

SHEET No. **2.1**



FIRST FLOOR PLAN NOTES:

SCOPE OF WORK:
1- NEW SHELTER

BUILDING AREA CALCULATIONS:

TOTAL AREA
2,725 sq ft

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NEW FACILITY FOR
**BOONE COUNTY ANIMAL SERVICES
 AND ADOPTION CENTER**
 BELVIDERE, ILLINOIS

ISSUED:	PRELIMINARY DESIGN
DATE:	8/07/14
DESIGNER:	MARK J. SCHMIDT
CHECKED BY:	JOHN HALL
JOB NO.:	K13036

SCALE: 1/4"=1'-0"

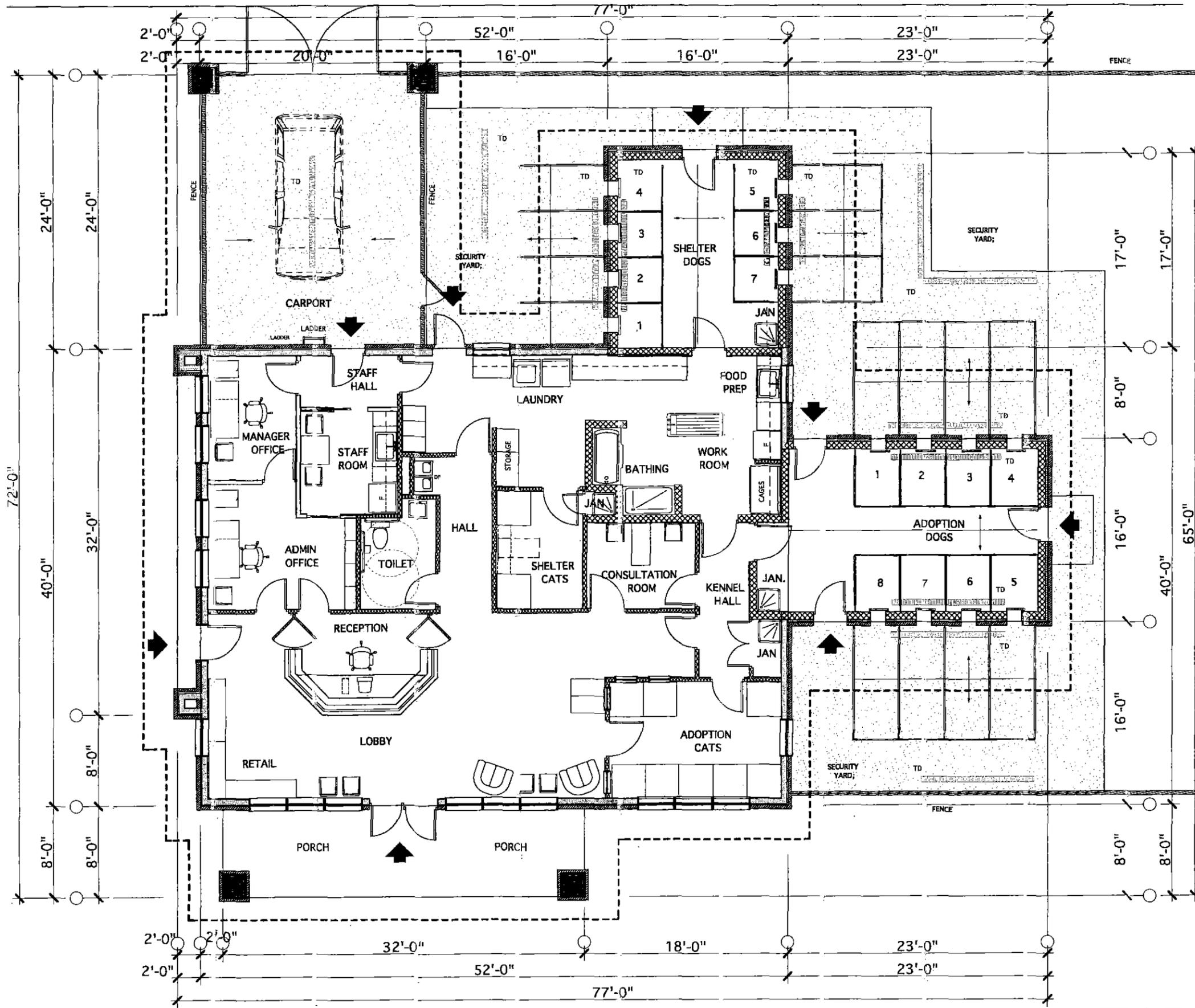
PROJECT NORTH

TRUE NORTH

© 2014 KNAPP SCHMIDT ARCHITECTS

FIRST FLOOR PLAN

SHEET No. **6.1**



FIRST FLOOR PLAN NOTES:

SCOPE OF WORK:

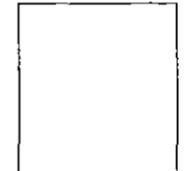
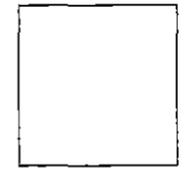
1- NEW ANIMAL SHELTER

BUILDING AREA CALCULATIONS:

PUBLIC AREA	882 sq ft
ADMIN STAFF AREA	376 sq ft
SHELTER WORK AREAS	531 sq ft
DOG AREAS	399 sq ft
	277 sq ft
CAT AREAS	177 sq ft
	85 sq ft
TOTAL AREA	2,725 sq ft

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Member of Animal Care Institute



NEW FACILITY FOR
**BOONE COUNTY ANIMAL SERVICES
AND ADOPTION CENTER**
BELVIDERE, ILLINOIS

ISSUED:	PRELIMINARY DESIGN
DATE:	8/07/14
DRAWN BY:	JSS
CHECKED BY:	K13036

SCALE: 1/4"=1'-0"

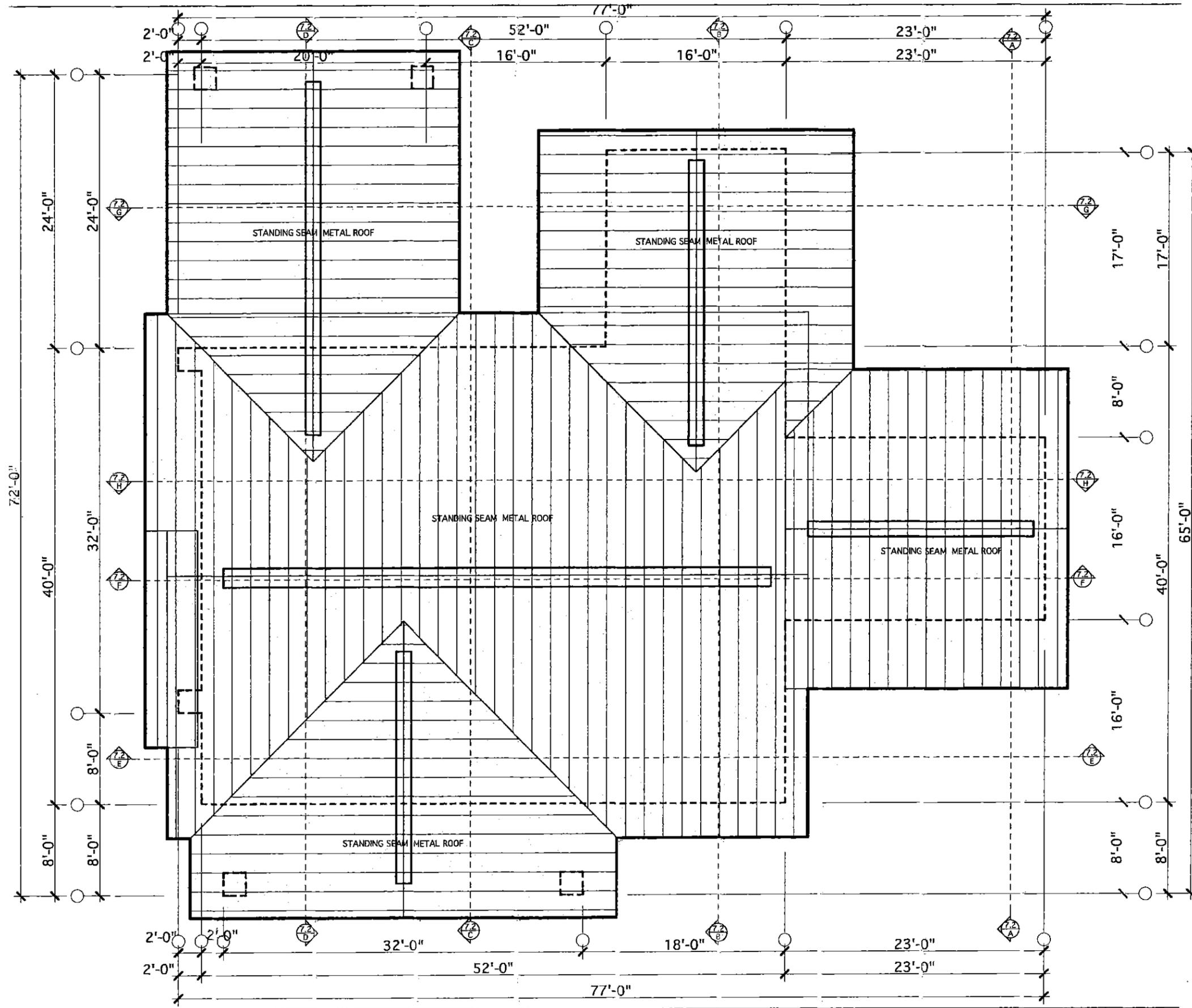
PROJECT NORTH

TRUE NORTH

© 2014 KNAPP SCHMIDT ARCHITECTS

FIRST FLOOR PLAN

SHEET No. **6.1P**



ROOF PLAN NOTES:

SCOPE OF WORK:

1- NEW STANDING SEAM METAL ROOF. NO GUTTERS

SCALE: 1/4"=1'-0"

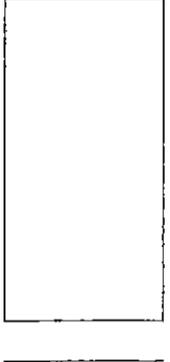
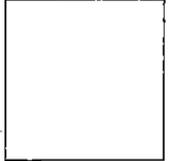
PROJECT NORTH ↑

TRUE NORTH ↗

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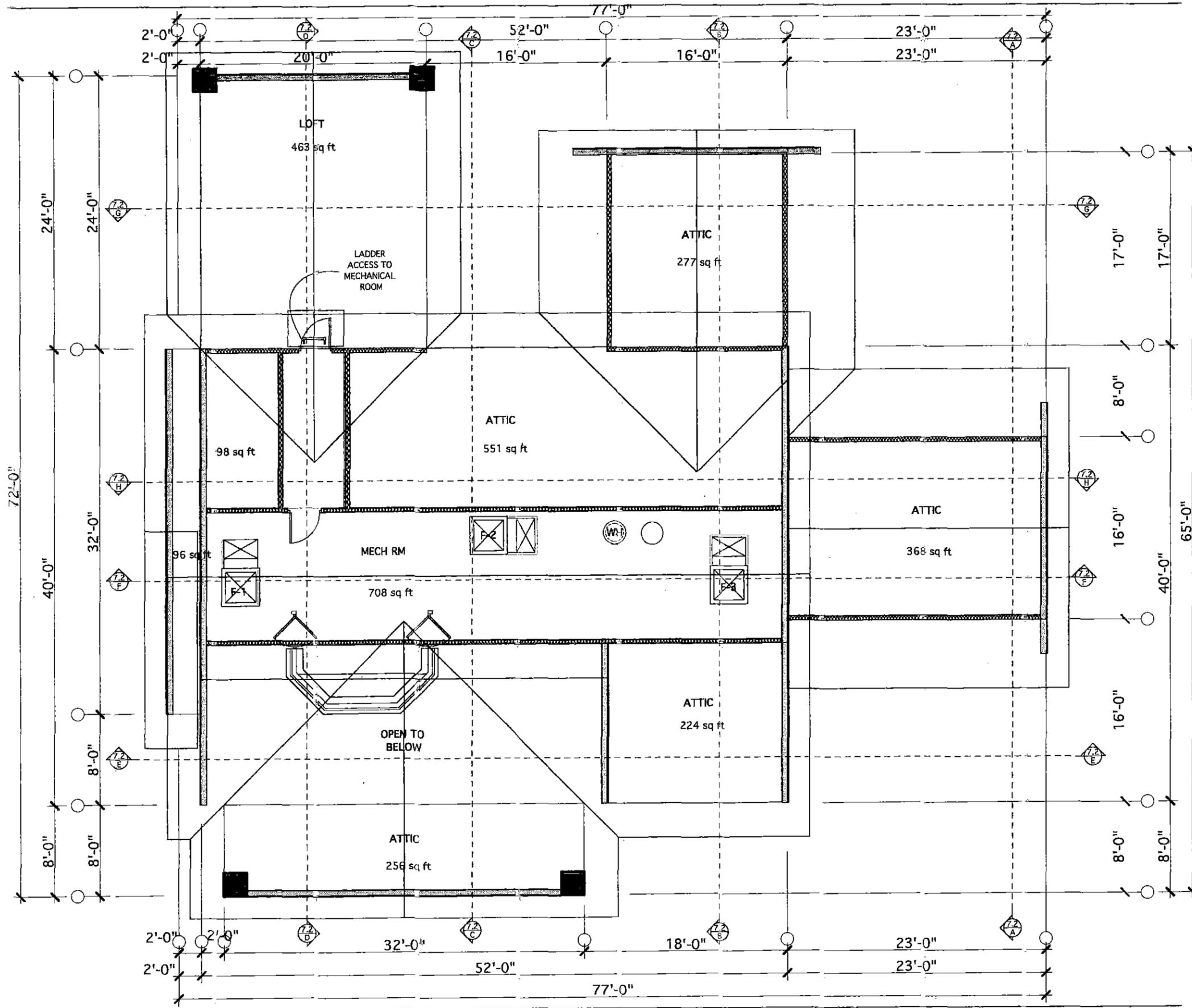


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ROOF PLAN

HEET NO: 7.1



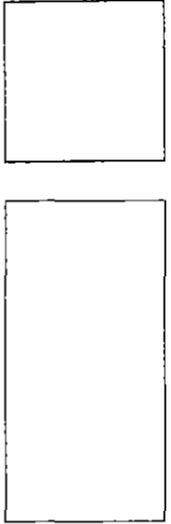
SECOND FLOOR PLAN NOTES:

SCOPE OF WORK:

1- NEW SHELTER

FLOOR AREA;
708 sq ft

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NEW FACILITY FOR
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SCALE:	K13036

SCALE: 1/4"=1'-0"

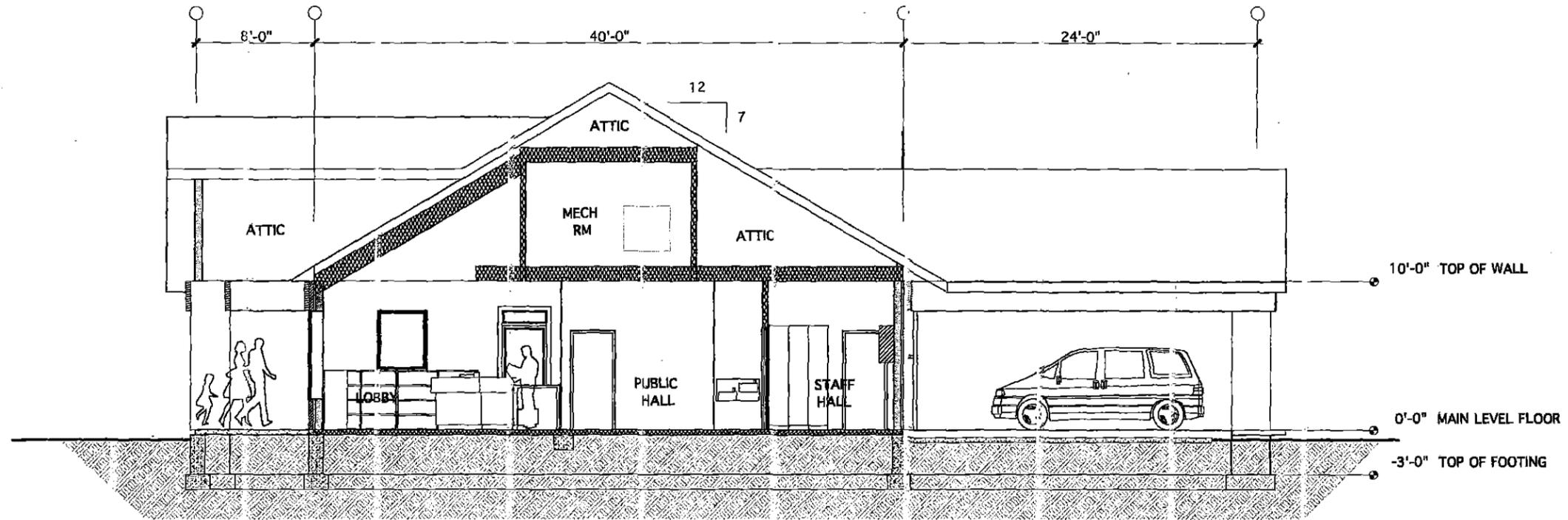
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TRUE NORTH

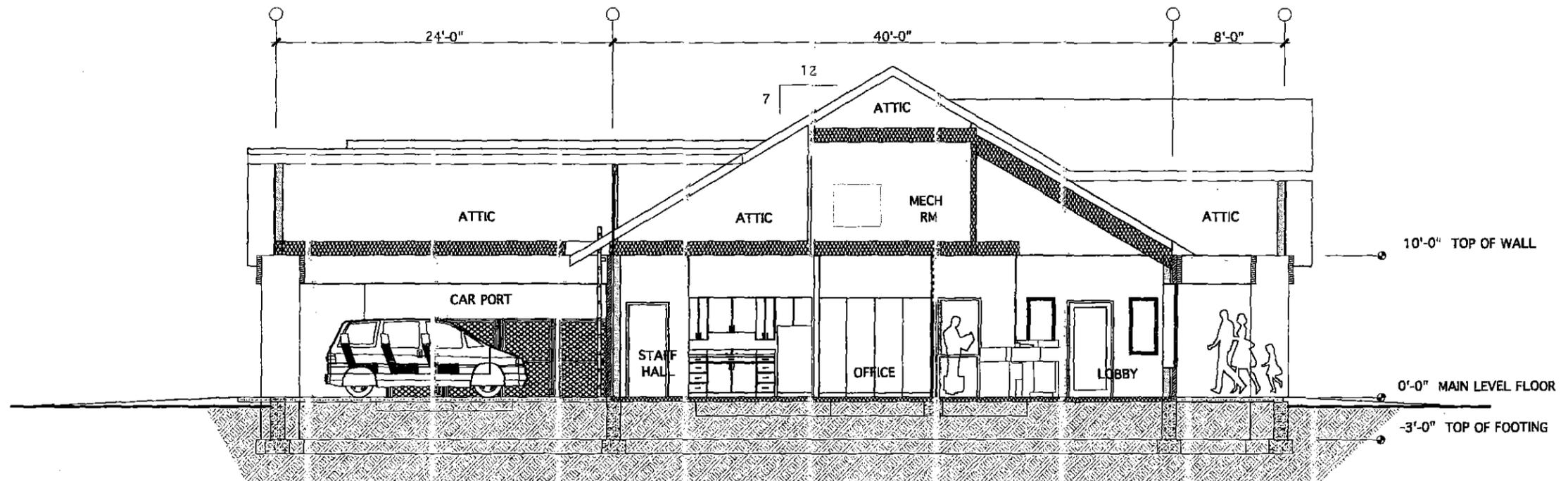
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SECOND FLOOR PLAN

SHEET NO: 6.2



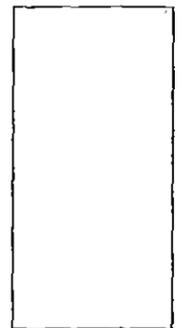
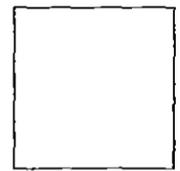
C
7.2
LOBBY SECTION



D
7.2
GARAGE / LOBBY SECTION

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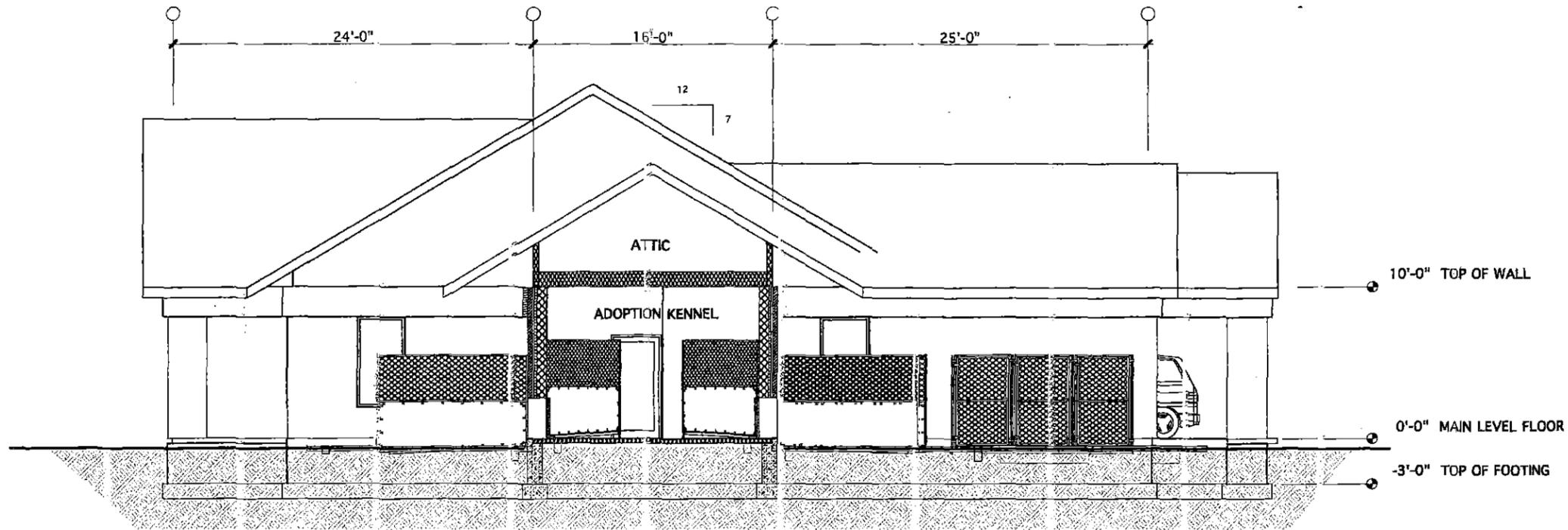


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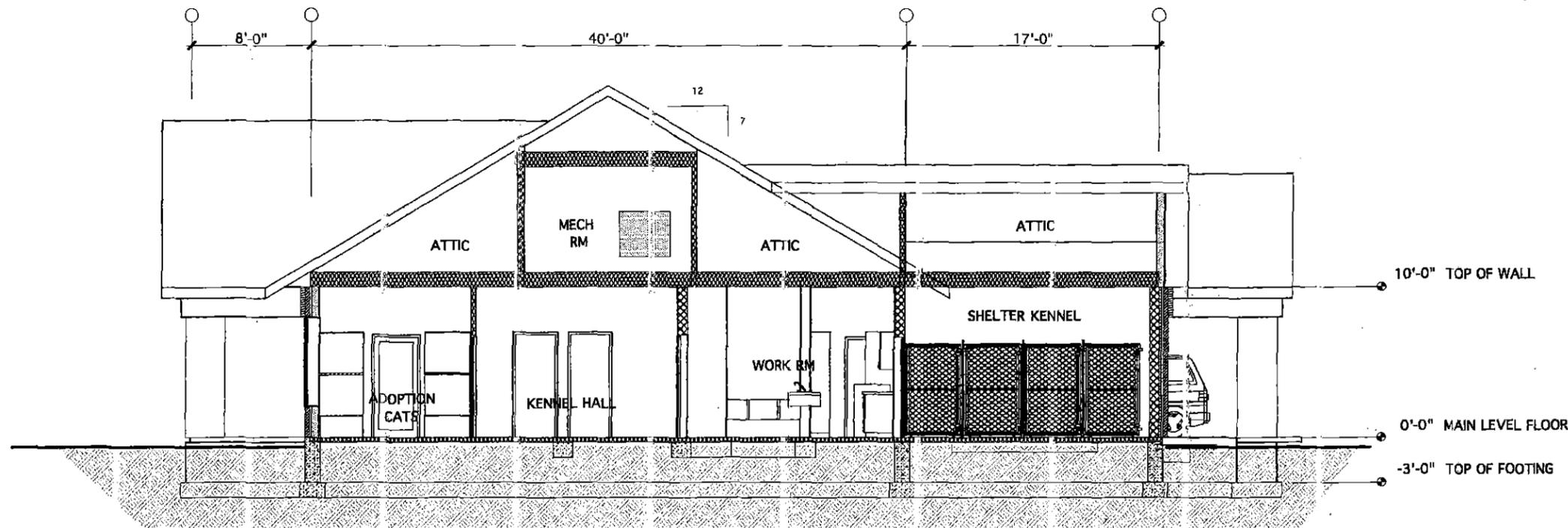
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DATE:	9/07/14
PROJECT:	
DRAWN BY:	
CHECKED BY:	
JOB NO.:	K13036

BUILDING SECTIONS

SHEET No. 7.3



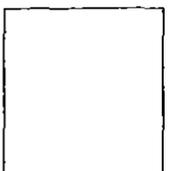
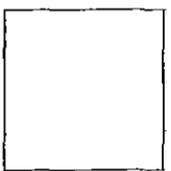
A
7.2
ADOPTION KENNEL



B
7.2
SHELTER KENNEL

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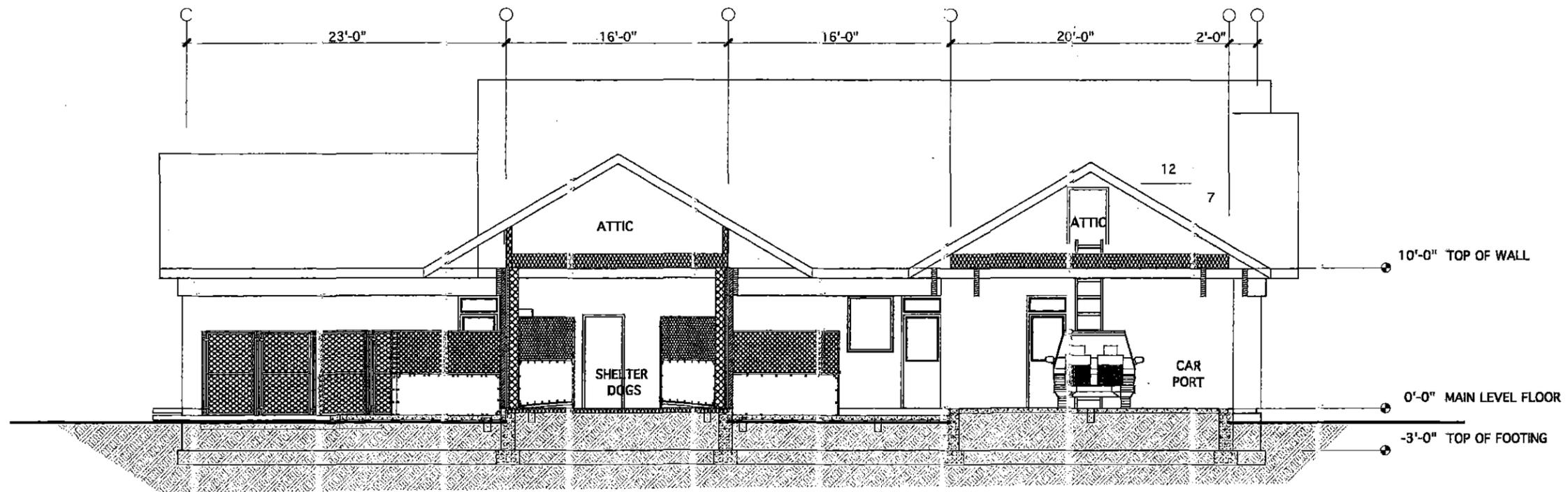


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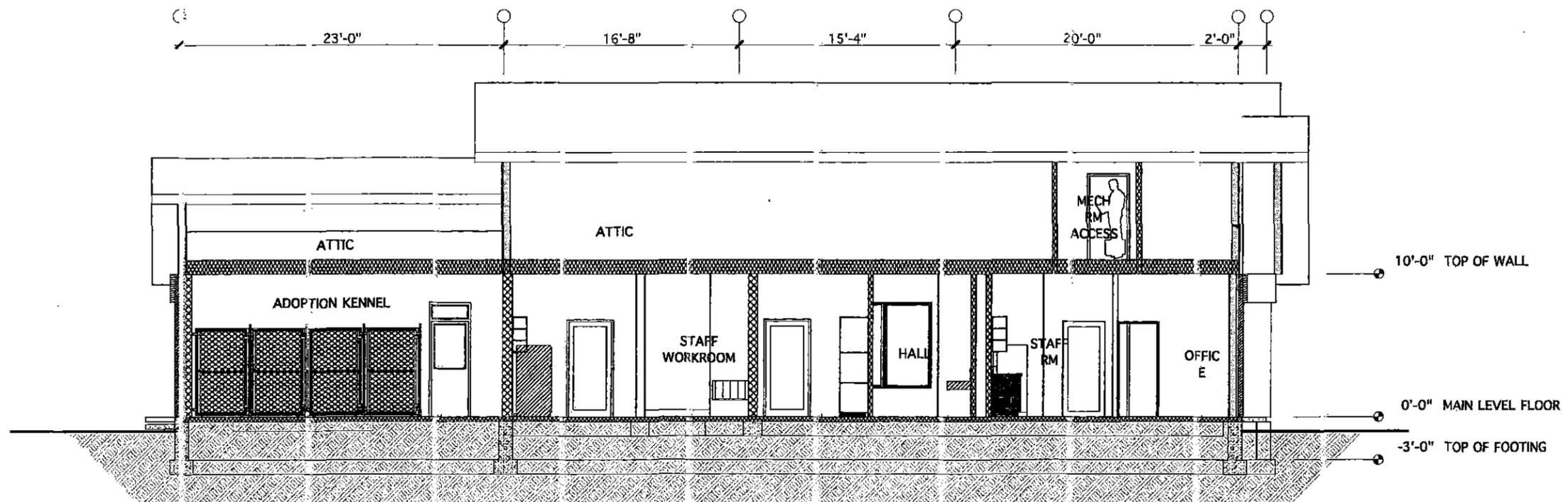
BUILDING SECTIONS

SHEET No 7.2



G
7.2

GARAGE SECTION



H
7.2

KENNEL / OFFICE SECTION

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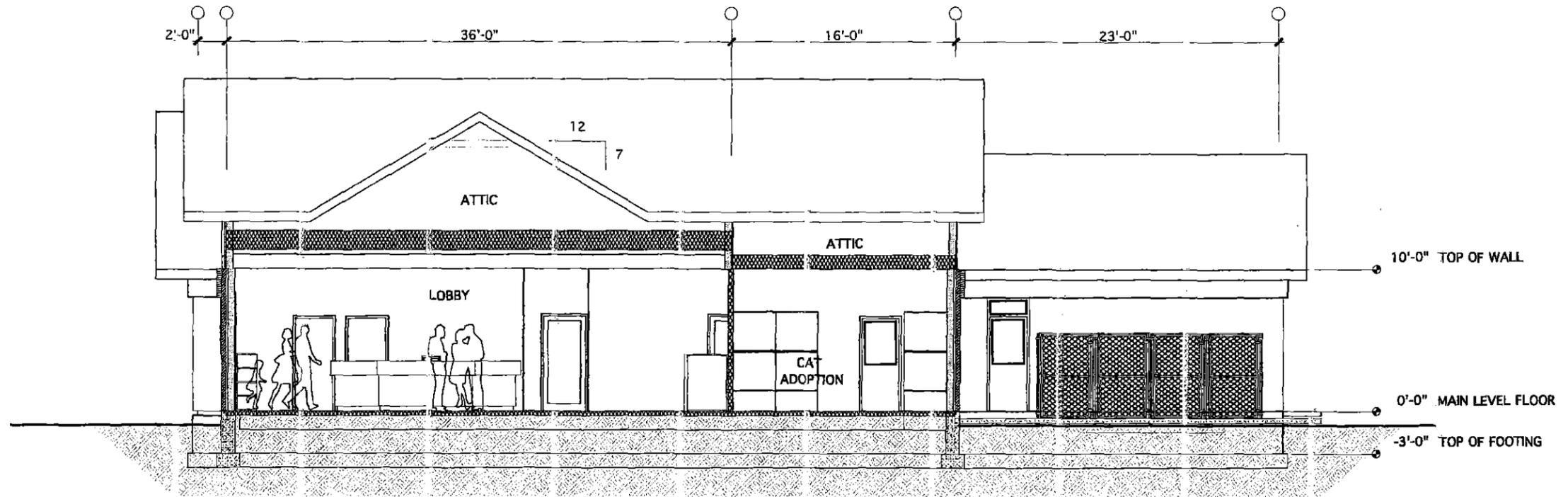
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Architect & Interior Designer

NEW FACILITY FOR
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BELVIDERE, ILLINOIS

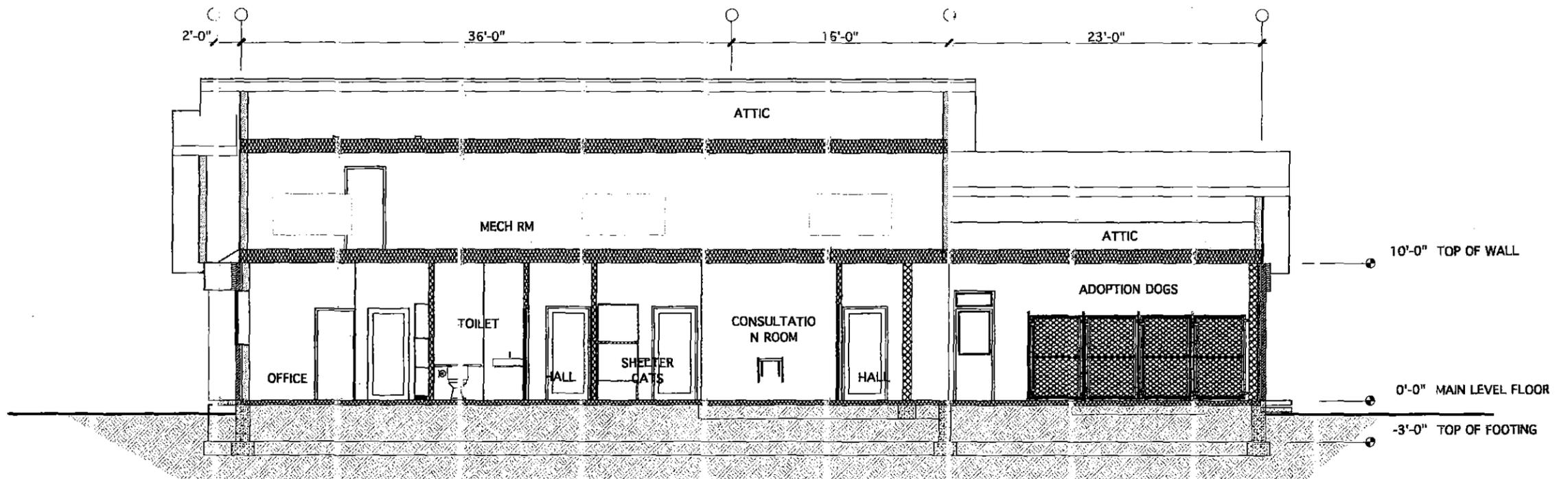
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BUILDING SECTIONS

SHEET No. 7.5



E
7.2
LOBBY SECTION



F
7.2
OFFICE / ADOPTION DOG SECTION

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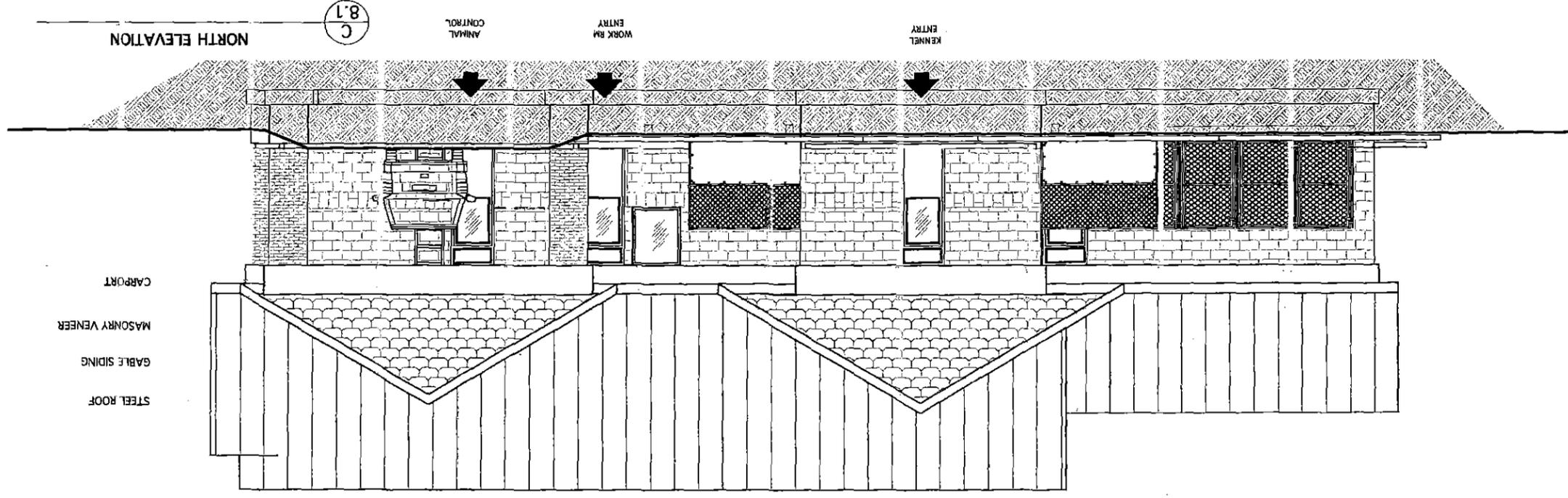
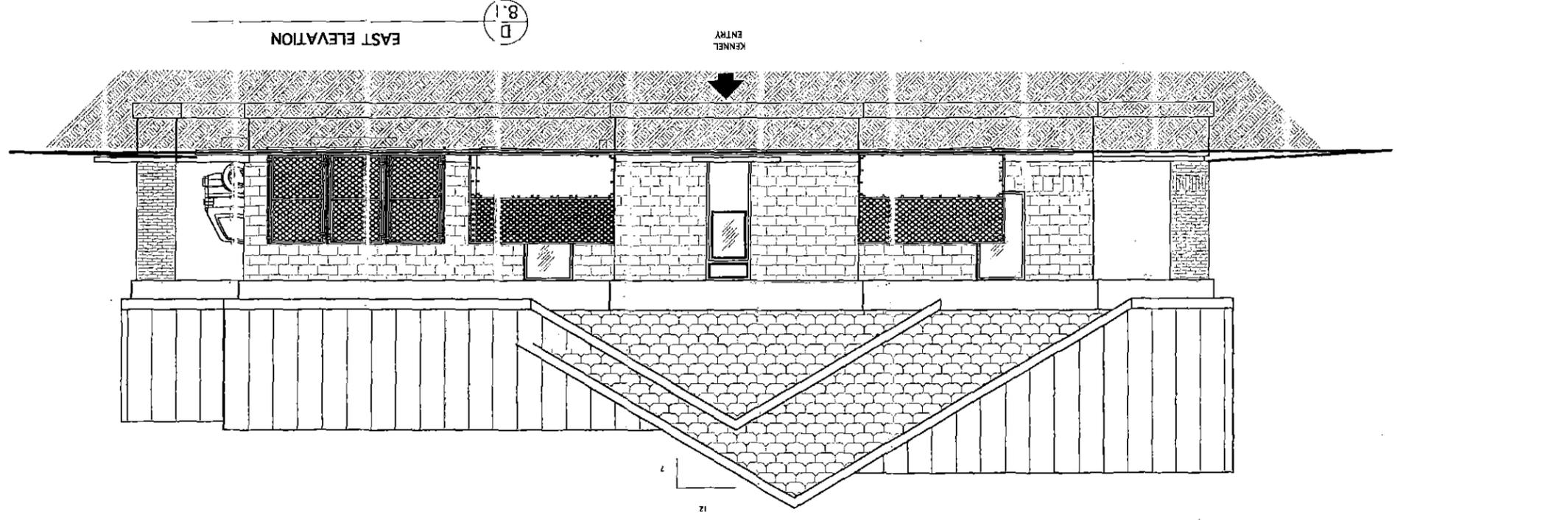
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BUILDING SECTIONS
 SHEET No. 7.4

8.2
 EXTERIOR
 ELEVATIONS

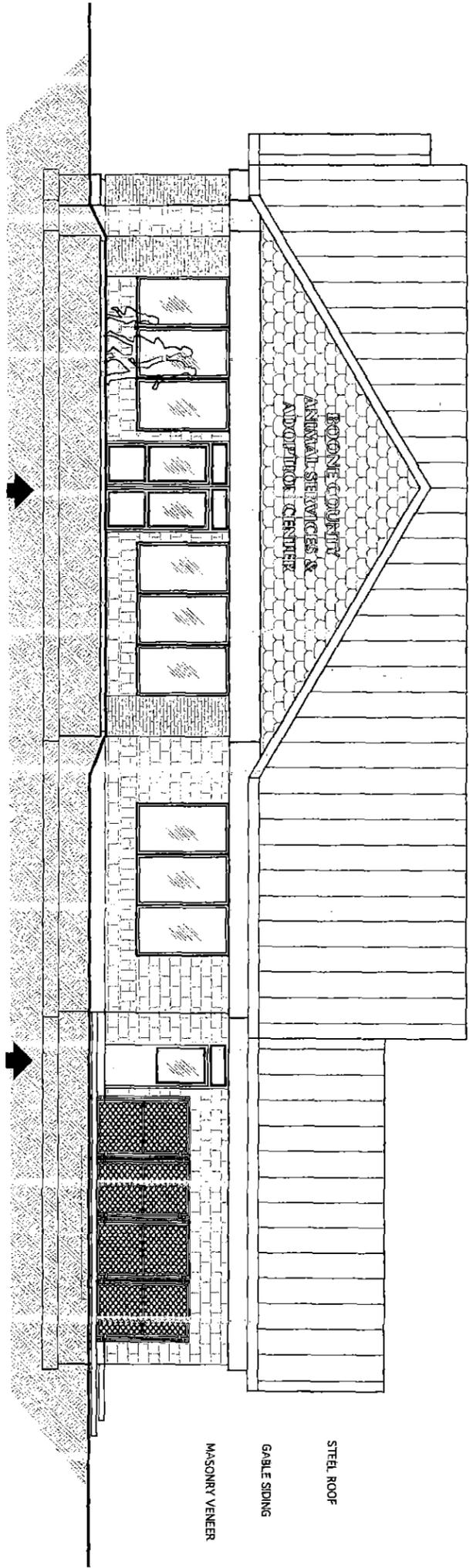
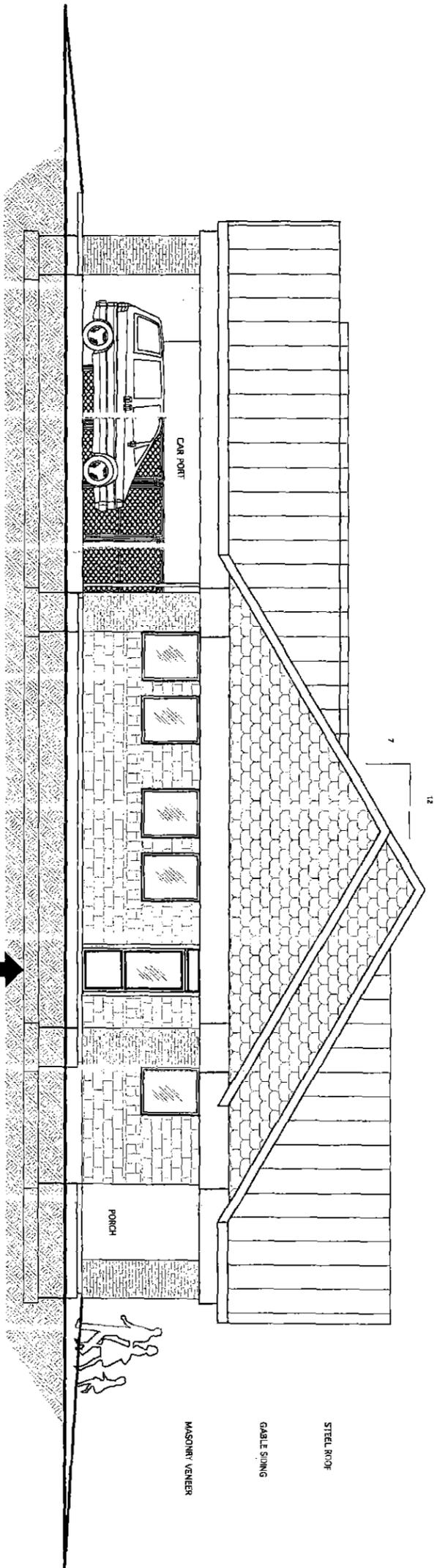
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NEW FACILITY FOR
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STEEL ROOF
 GABLE SIDING
 MASONRY VENEER
 CARPORT

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1/8" = 1'-0"

WEST ELEVATION

1/8" = 1'-0"

SOUTH ELEVATION

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EXTERIOR ELEVATIONS
8.1

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NEW FACILITY FOR
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<ul style="list-style-type: none"> Mark J. Schmidt Architect AIA NCARB A Member of Knapp Schmidt Architects LLC Specialist in Animal Care Facilities 	PO Box 762 Watonsa, WI 54982 800 - 236 - 0140 920 - 787 - 0140 design@ksarchitect.com
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